

Swartland Municipality

Swartland North Area Plan Area Plan 2025/2026

Moorreesburg and Koringberg

WARDS 1 and 2



May 2025

Annexure 2 of the Integrated Development Plan for 2025

Contents		Page
1	OUR VISION FOR THE FUTURE	1
	(a) Our dream of a desired future for the Swartland	1
	(b) Our future Swartland	3
	(c) Vision	3
	(d) Strategic goals	3
2	INTRODUCTION	4
	(a) General	4
	(b) Structure of document	4
	(c) Compilation of the area plans	4
	(d) The IDP and area plans	5
3	SUMMARY OF DEMOGRAPHIC DATA	6
4	TOWNS IN THE AREA	8
	(a) Moorreesburg	8
	Historical background	8
	Development perspective	8
	(a) Koringberg	9
	Historical background	9
	Development perspective	9
	(c) Service backlogs	10
5	TOWN STATISTICS	11
6	CAPITAL BUDGET FOR THE AREA	15
7	WARD DETAIL	18
	(a) Ward 1 (Koringberg and part of Moorreesburg)	18
	Ward 1 description	18
	Ward 1 committee information	19
	Ward 1 statistics	19
	Ward 1 needs	22
	(b) Ward 2 (Moorreesburg East)	24

Contents	Page
Ward 2 description	24
Ward 2 committee information	25
Ward 2 statistics	25
Ward 2 needs	28
ANNEXURE1: SPATIAL DEVELOPMENT FRAMEWORK PROPOSALS	30

1. OUR VISION FOR THE FUTURE

(a) Our dream of a desired future for the Swartland

During the Strategy Workshop with Council and management held from 23-25 November 2022, participants were divided into five groups. Each group was tasked with envisioning their dream of a desired future for Swartland. The desired future described below is a consolidation of the work generated by the five groups.

COMMUNITY SAFETY AND WELLBEING

We dream of a Swartland that is crime free. An area where people feel safe and don't get robbed. Where everyone can move freely without fear.

We see an area where children can safely play in streets and parks. Where they can safely walk or ride by bicycle to school. Where there is a culture of "my child is your child".

We see communities that are law-abiding. Where the causes of criminality are eradicated. Where there is an effective police force to provide the necessary protection.

We dream of a Swartland that is rich in social and cultural activities. Where all our communities live together in peace, harmony, love and compassion, taking responsibility for their actions. An environment where people respect each other, have opportunities to grow and develop and contribute to the economy.

We see a quality and affordable education system that moved beyond the traditional curriculum and can cater for the future educational needs. We see an area where proper healthcare is affordable and accessible for all residents.

We see open spaces, hiking trails and cycle tracks that promote an active and healthy lifestyle.

We see "Ubuntu" lived and practised by all to its fullest extent in Swartland.

ECONOMIC TRANSFORMATION

We dream of a Swartland where the economy has grown and attracted private and global investment. Where everyone has a job and where economic growth is sustained through education, skills development and entrepreneurial opportunities.

We see an abundance of vendors and entrepreneurs. No loitering and beggars on the streets. Small, medium and micro enterprises (SMMEs) are mentored to be sustainable.



We see skills transfer centres in all our areas and also on-line.

QUALITY AND RELIABLE SERVICES

We dream of a Swartland where everyone has access to excellent and sustainable services. Services that are provided at affordable rates and upgraded continuously. We see innovative ideas becoming a reality and the smarter management of resources. We see a community that is prepared to be co-responsible for the state of our infrastructure.

We see an integrated transport and effective commuting network with less vehicles on our streets and therefore less traffic congestion.

A HEALTHY AND SUSTAINABLE ENVIRONMENT

We dream of a Swartland where the biodiversity and wildlife are protected. Where the skies are blue (no pollution), the air is clean (no unhealthy emissions) and the environment is green (proper environmental conservation and improved health of the environment).

We dream of a Swartland where every citizen has access to safe, secure and affordable housing. Where the government and private sector work together to ensure that there is adequate housing for all and that those who are currently living in substandard housing are provided with better options.

We see a future where informal settlements are transformed into well-planned, sustainable communities with access to clean water, sanitation, electricity, and other basic services. Where these communities are designed with input from the residents themselves to ensure that their needs and aspirations are met.

A CONNECTED AND INNOVATIVE LOCAL GOVERNMENT

We dream of a world class Swartland that is globally connected. Where technology is utilised to make life easier to communicate commute and interact. Where every home has an optic fibre connection.

We see a Municipality that embraces innovation; with enhanced connectivity and collaboration, that can contribute to a prosperous and sustainable future.

We dream of a Municipality that leverages technology to better serve the needs of the community.

We see a Swartland where the smart city concept is used to increase operational efficiency, share information with the public and improve both the quality of government services and citizen welfare.



(b) Our future Swartland

We dream of Swartland 2040 that is valued for -

- being safe, healthy and prosperous;
- providing good governance, quality services and the ease of doing business with; and
- leading in technological innovation and environmental responsibility.

(c) Vision

Swartland forward-thinking 2040 - where people can live their dreams

Swartland vooruitdenkend 2040 - waar mense hul drome kan uitleef

(d) Strategic goals

- Community safety and wellbeing
- Economic transformation
- Quality and reliable services
- A healthy and sustainable environment
- A connected and innovative local government



2. INTRODUCTION

(a) General

Area-based planning is a component to the integrated development plan (IDP) process that focuses and zooms in on communities. Settlements and wards represent communities in this sense. As wards are sometimes marked in a way that splits regions that in actuality work as a unit, Swartland decided to propose a different technique that prioritises rational geographical areas while also taking ward planning into account so that wards are not neglected. To do this, each area plan integrates a number of wards.

The following five planning areas were identified:

- North: Moorreesburg, Koringberg and Ruststasie (Wards 1 and 2);
- East: Riebeek West, Riebeek Kasteel and Ongegund (Wards 3 and 12);
- West: Darling and Yzerfontein (Wards 5 and 6);
- South: Abbotsdale, Chatsworth, Riverlands and Kalbaskraal (Wards 4 and 7);
- Central: Malmesbury (Wards 8, 9, 10 and 11 and small portions of wards 4, 7 and 12).

As such, it is a strategy for addressing integrated development planning at the sub-municipal level. As a result, five planning areas exist, each with its own Area Plan document. Four of the five layouts cover two wards each, while Malmesbury town covers four.

The significance of wards and ward committees is addressed in the second part of each Area Plan. It also includes community feedback and the outcomes of public engagements held in particular wards.

(b) Structure of document

Information is presented per town and ward when addressing planning and community participation at the local level (as mentioned in the previous paragraph).

This might be challenging since it disrupts the normal flow of analysis and community involvement towards initiatives/goals. To keep things clear, anything that can be linked to a town is in the town part, and everything that can be linked to a ward approach is in the ward section.

(c) Compilation of the area plans

The Municipality, in collaboration with the ward committees, produces the area plans. Every year, the 12 ward committees meet to establish their concerns and top 10 priorities, or to reprioritise the priorities if necessary due to changing circumstances.

Ward committees identify the primary priorities of the relevant wards in relation to the five IDP strategic goals.



The Municipality then captures the priorities established during the sessions and returns them to the individual ward committees to confirm the ten key goals mentioned in the area plan.

The area plans are finished by the end of May each year and approved by Council together with the IDP.

(d) The IDP and Area Plans

The five area plans include the following:

- an understanding of social diversity in the community, the assets, vulnerabilities and preferences of these different social groups;
- an analysis of the services available to these groups, as well as the strengths, weaknesses, opportunities and threats facing the community;
- a consensus on priorities for the relevant wards; and
- identification of projects for the IDP.

Area plans assist in assuring that the IDP is more focused and relevant to the needs of all communities, including the most vulnerable. Ward committees can use area plans as a methodical planning and execution tool to carry out their functions and obligations. They serve as the foundation for conversation between the Municipality and ward committees on the identification of priorities and budget requests, and ward committees will utilise them for continued monitoring and assessment throughout the year.

Area plans are an integral aspect of the IDP and contain information that is utilised to define the Municipality's long-term strategy. Yet, the material is detailed and not repeated in the IDP.



3. SUMMARY OF DEMOGRAPHIC DATA

The information in the section was obtained from the Western Cape Government's 2024 Socio-economic Profile (SEP) Report and Census 2022.

Swartland: At a Glance

Demographics

Census 2022 (StatsSA)



Population

148 331



Households

44 856

Population Estimates, 2024 (MYPE); Household estimates, 2024 (MYPE)

Education

2023



Matric Pass Rate

79.4%

Learner Retention Rate

84.1%

Learner-Teacher Ratio

30,6

Poverty

2023



Gini Coefficient

0.58

Poverty Head Count Ratio (UBPL)

76.0%

Health

2023/24



Primary Health
Care Facilities

7

(excl. mobile/satellite
clinics)

Immunisation
Rate

65.6%

Maternal Mortality Ratio
(per 100 000 live births)

0

Teenage Pregnancies –
Delivery rate to women
U/18

16.5%



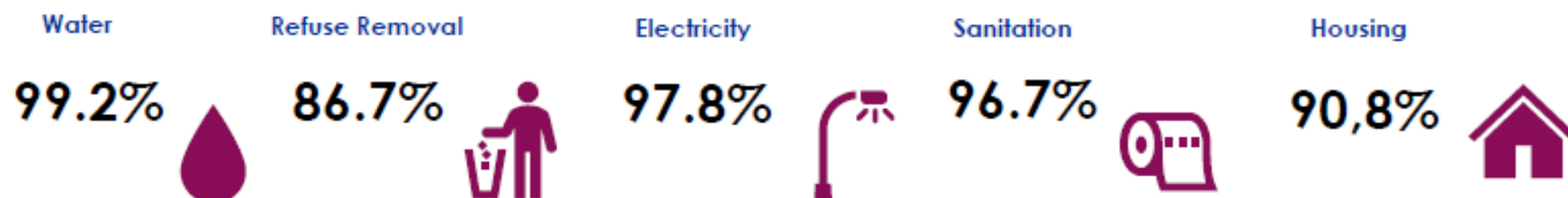
Safety and Security

Actual number of reported cases in 2023/24



Access to Basic Service Delivery

percentage of households with access to basic services, 2023 (Quantec)



Labour

2023

Unemployment Rate
(narrow definition)

13.6%



Socio-economic Risks

- | | |
|--------|--------------------------|
| Risk 1 | Job losses |
| Risk 2 | Low learner retention |
| Risk 3 | Low skills base (Labour) |

Largest 3 Sectors

Contribution to GDP, 2023

Manufacturing

21.9%



Agriculture, forestry and fishing

17.9%



Community, social and
personal services

15.0%



4. TOWNS IN THE AREA

(a) Moorreesburg

HISTORICAL BACKGROUND

Moorreesburg originated as a result of the establishment of the DR Church in the last half of the 19th century. It is a town situated in the Swartland region of the Western Cape province of South Africa. The earliest history of the church up to 1882 was interwoven with the history and initial development of the town. The town is named after one of the former ministers of the Swartland congregation, namely Rev. J. C. Le Fèvre Moorrees.

In 1882, Lord Milner granted town status and Moorreesburg's first town council was elected. Besides the central town area, development also takes place in four other areas namely:

- Parts of the town Neulfontein B (currently known as the farm Tevrede) were developed and are known as Steynsburg. It is the area between Park Street and Uitsig Street;
- In 1920, the area between Smuts Street and Uitsig Street was developed. This area is known as Smutsville;
- On the northern side of Lang Street and the western side of Reservoir Street, another area is developed on a section of the farm Klipvlei;
- The town area of Hooikraal was laid out in 1915 and divided into 1234 erven, which were sold at a cheaper price than the town erven. In 1915, the land north of the river at Hooikraal was incorporated.

During the early 20th century, Moorreesburg was an important hub for the region's agricultural industry. The town was situated in the heart of the wheat belt, and many wheat farmers brought their crops to Moorreesburg for processing and transportation to markets in Cape Town and other parts of the country. Moorreesburg was also an important railway junction, with several railway lines converging in the town. The railway played a vital role in the town's economy, providing transportation for goods and passengers. Today, Moorreesburg remains an important agricultural hub, with wheat, wine grapes, and other crops grown in the area.

DEVELOPMENT PERSPECTIVE

The main function of the town is that of an agricultural service centre (central place town), in the heart of the wheat producing Swartland district.

Light industries are beginning to play an increasingly important role in the town. The role of the Swartland Group (producing wooden window frames and doors), Skaarland (ploughs), Swartland Cement and other agri-related industries (dog food and canola oil), should not be underestimated in its impact on the local economy of the region. More light industries related to the agricultural function should be attracted. Moorreesburg is the seat of the West Coast District Municipality (WCDM).

Malmesbury and Piketberg and the stagnation of agricultural production due to drought and the strong rand currency (which makes imports of corn cheaper than producing it locally).



Water availability may be a limiting factor for development as an agriculture centre. The possibility to diversify agricultural activities in the region must be investigated. The present dominance of agriculture around which the town economy revolves makes the economic base vulnerable. This could be countered by a specific focus on agriculture/wheat related tourism.

(b) KORINGBERG

HISTORICAL BACKGROUND

Koringberg is a typical example of a town that developed from a church and a railway siding. The town was originally established in 1923 with the church being built on the farm Brakfontein. It was initially known as Warren's Camp after the railway station. The name Koringberg however, refers to the prominent hill behind the village which overlooks the wheat fields. The town obtained municipal status in 1975 but lost it afterwards. Today Koringberg is the northern-most settlement of the Swartland Municipal Area.

DEVELOPMENT PERSPECTIVE

Koringberg developed as an agricultural service centre but currently functions as a residential settlement, which, to a large extent accommodates farm workers of the surrounding rural areas. To an extent, the cultivation of wheat was replaced with the production of grapes for the export market. The farm Broodkraal provides work to 2000 labourers, the majority of whom live in Koringberg. Some of the farm residents are of the opinion that Koringberg has growth potential as a retirement village and a rural breakaway resort. Various artists and retirees have already settled down here.

Koringberg should, at this stage, qualify primarily for major social capital investment rather than for fixed infrastructural investment. In this way, the capacity of the town's community and their social well-being could be uplifted more effectively.

The town is located a few kilometres off the N7 route, and its proximity to Moorreesburg contributes to its functional role as a low-order rural settlement. In reality Koringberg's development profile promises very little growth potential. The only positive development components the settlement reveals are economic change and regional vitality, which are misleading indicators on account of the statistical fallacy produced by relatively large percentages on small census numbers.



(c) Service backlogs

WARDS 1 AND 2	
KORINGBERG	MOORREESBURG
Sewerage <ul style="list-style-type: none"> ▪ Sewer reticulation network poorly developed and must be extended. ▪ Waste Water Treatment Works is overloaded and must be upgraded. 	Sewerage <ul style="list-style-type: none"> ▪ Frequent localised blockages in the sewer collection system due to foreign objects.
Stormwater <ul style="list-style-type: none"> ▪ No formal piped stormwater drainage system. ▪ There are many unlined channels which causes erosion and maintenance problems. 	Stormwater <ul style="list-style-type: none"> ▪ Maintenance of the No-Go River. ▪ Regular blockages and flooding in Rosenhof.
Water <ul style="list-style-type: none"> ▪ Poorly developed network, small diameter pipes, low pressure and flow condition and open ring mains. ▪ Sections of the water reticulation network are obsolete and must be upgraded. ▪ Secondary chlorination at reservoirs must be implemented. 	Water <ul style="list-style-type: none"> ▪ Obsolete infrastructure, pipe breakages, leaking valves and leaking hydrants. ▪ Poorly developed network, shortage in shut-off valves. ▪ Secondary chlorination at reservoirs must be implemented.
Streets <ul style="list-style-type: none"> ▪ Backlog resealing programme coupled with deterioration of road infrastructure. ▪ Many roads are not constructed with kerbstone and formal sidewalks. 	Streets and traffic <ul style="list-style-type: none"> ▪ Numerous problems are encountered with safe access to the N7 from both entrances to town, particularly the southern entrance. During winter months problems with bad vision is experience due to fog. ▪ Backlog of street resealing programme, deterioration of road infrastructure
Electricity <ul style="list-style-type: none"> ▪ Eskom area of supply. ▪ Street lighting inadequate. 	Electricity <ul style="list-style-type: none"> ▪ Old and Obsolete mini-substations and oil filled switchgear. The units are being replaced on a priority basis within budget constraints.



5. TOWN STATISTICS

The information in the section was obtained from the *Census 2011, Community Survey 2016 and Census 2022 of Statistics South Africa*.

Population Composition and Growth of Swartland

Group	2011	%	2016	%	Annual Growth 2011-2016	2022	%	Annual Growth 2011-2022
Black African	20 805	18.3%	20 965	15.7%	0.15%	27 073	18.3%	2.42%
Coloured	73 753	64.8%	87 070	65.1%	3.38%	95 106	64.1%	2.34%
Indian or Asian	585	0.5%	795	0.6%	6.33%	530	0.4%	-0.89%
White	17 780	15.6%	24 932	18.6%	7.00%	23 343	15.7%	2.51%
Other / Unspecified	838	0.7%	-	-	-	2 279	1.5%	9.42%
TOTAL SWARTLAND	113 762	100.0%	133 762	100.0%	3.29%	148 331	100.0%	2.44%

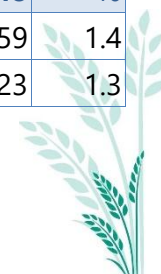
PLEASE NOTE: At the time of finalising this area plan, the results of the 2022 Stats SA Census were not yet available at ward or sub-area level. Consequently, the statistical information presented below continues to reflect the 2016 Community Survey data. This information is supplemented by projections and planned interventions identified by the Swartland Municipality to inform future development priorities.

(i) Population per group

Town	Black African		Coloured		Indian or Asian		White		Other		Total	
	No	%	No	%	No	%	No	No	%	No	%	No
Moorreesburg	1 247	6.7	13 106	70.3	46	0.2	4 169	22.4	75	0.4	18 643	100.0
Koringberg	58	3.2	1 539	85.0	1	0.1	204	11.3	8	0.5	1 810	100.0

(ii) Age distribution per category

Town	0-9 years		10 – 19 years		20-29 years		30-39 years		40-49 years		50-59 years		60-69 years		70-79 years		80+ years	
	No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%
Moorreesburg	3 224	17.3	2 945	15.8	3 190	17.1	2 532	13.6	2 603	14.0	1 837	9.9	1 287	6.9	765	4.1	259	1.4
Koringberg	316	17.5	371	20.5	294	16.2	218	12.0	261	14.4	159	8.8	114	6.3	54	3.0	23	1.3



(iii) Average household size

Town	Number of households	Average household size
Moorreesburg	5 357	3.4
Koringberg	473	3.8

(iv) Dwelling types

Town	House or brick/concrete block structure on a separate stand or yard or on a farm	Traditional dwelling/hut/structure made of traditional materials	Flat or apartment in a block of flats	Cluster house in complex	Town-house (semi-detached house in a complex)	Semi-detached house	House/flat/ room in backyard	Informal dwelling (shack in backyard)	Informal dwelling (shack not in backyard; e.g. in an informal/squatter settlement or on a farm)	Room/flat let on a property or larger dwelling/servants quarters/granny flat	Caravan/tent	Other
Moorreesburg	4 588	10	233	1	13	96	117	46	176	39	13	24
Koringberg	430	3	6	0	1	13	7	6	0	1	1	3

(v) Official employment status

Town	Employed		Unemployed		Discouraged work-seeker		Other not economically active		Age less than 15 years		N/A	
	No	%	No	%	No	%	No	%	No	%	No	%
Moorreesburg	5 942	31.9	948	5.1	318	1.7	5 248	28.2	0	0.0	6 184	33.2
Koringberg	608	33.6	22	1.2	18	1.0	516	28.5	0	0.0	646	35.7



(vi) Individual monthly income

Town	No Income	R1 – 12 800	R12 800 – R25 600	R25 601 – R51 200	R51 201 – R102 400	R102 401 – R204 800	R204 801+	Unspecified	Not Applicable
Moorreesburg	7 563	9 392	563	143	42	14	10	504	408
Koringberg	519	1 111	24	10	1	0	0	100	45

(vii) Human settlement overview (Housing)

Town	Waiting list	Financial year
Moorreesburg	1706	2024/25
Koringberg	149	2024/25

(viii) Household source of energy for lighting

Town	Electricity	Gas	Paraffin	Candles (not a valid option)	Solar	None	Unspecified
Moorreesburg	98.8%	0.0%	0.1%	0.9%	0.0%	0.2%	0.0%
Koringberg	99.4%	0.3%	0.0%	0.0%	0.3%	0.0%	0.0%

(ix) Household source of refuse disposal

Town	Removed by local authority/private company at least once a week	Removed by local authority/private company less often	Communal refuse dump	Own refuse dump	No rubbish disposal	Other
Moorreesburg	98.3%	0.5%	0.3%	0.8%	0.1%	0.1%
Koringberg	99.7%	0.0%	0.0%	0.3%	0.0%	0.0%



(x) Household source of water (Tap information)

Town	Piped (tap) water inside dwelling	Piped (tap) water inside yard	Piped (tap) water on community stand : distance < 200m from dwelling	Piped (tap) water on community stand : between 200m & 500m from dwelling	Piped (tap) water on community stand : between 500m & 1000m from dwelling	Piped (tap) water on community stand : distance >1000m from dwelling	No access to piped (tap) water
Moorreesburg	93.7%	5.5%	0.5%	0.0%	0.0%	0.0%	0.2%
Koringberg	91.8%	7.3%	0.0%	0.0%	0.0%	0.0%	0.9%

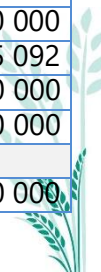


6. CAPITAL BUDGET FOR THE AREA

Project Description	Budget for 2025/2026
WARDS 1 & 2	
Koringberg Sport Field: Ablution Facilities	650 000
Koringberg: New Transfer Station	580 000
Moorreesburg Development 645 IRDP erven. Electrical infrastructure and connections	7 550 000
VARIOUS WARDS	
Malmesbury WWTW: Replace Clarifier Mechanical Equipment	3 060 870
Darling WWTW: SCADA Systems	3 350 000
Moorreesburg WWTW: SCADA Systems	3 350 000
Malmesbury SMW1.3 Wesbank Reservoir to Malm/Abb pipeline	800 000
Malmesbury De Hoop Serviced Sites (Prof Fees)	4 061 518
Malmesbury De Hoop Serviced Sites (Sewerage)	6 923 312
Malmesbury De Hoop Serviced Sites (Water)	5 830 157
Malmesbury De Hoop Serviced Sites (Streets & Stormwater)	23 685 013
De Hoop Bulk: Prof Fees (Phase 4)	200 000
Malmesbury De Hoop Development: Electrical Bulk supply upgrading	17 821 124
Malmesbury De Hoop 132/11kV Substation, 132kV transmission line, servitudes and 132kV Eskom connection (CRR + Loan)	34 278 876
Malmesbury De Hoop Serviced Sites (2000)	10 315 000
ALL WARDS	
Electricity Distribution	
Replace oil insulated switchgear and equipment	4 500 000
LV Upgrading: Swartland	1 250 000
MV Upgrading: Swartland	1 300 000
Streetlight, kiosk and polebox replacement: Swartland	650 000
Protection and Scada Upgrading: Swartland	380 000
Substation Fencing: Swartland	220 000
Streetlights Eskom AOS	400 000
Connections: Electricity Meters (New/Replacements)	950 000
Replacement of obsolete air conditioners	250 000
Emergency Power Supply	300 000
Traffic Light Controlling Equipment	150 000
Sewerage Service	
Replace: Mobile Generator	380 000
Pipe Replacement: Obsolete Infrastructure	1 500 000
Schoonspruit: Pipe Replacement	1 400 000



Sewerage Works: Darling	500 000
Buildings & Maintenance	
Painting Machine: Mechanical drive	350 000
New Cherry Picker	800 000
Riebeek Kasteel Stores: Ablution Facilities	280 000
Monitoring Office/Building: YZF	100 000
Refuse Removal	
Highlands: Development of new cell (CRR + Loan)	23 435 581
Highlands: Security Wall (CRR + MIG)	9 600 000
ICT Services	
Terminals	40 000
Monitor Replacements	45 000
Printers	60 000
Desk Tops	306 000
Notebooks	485 500
Communications and equipment: Time and Attendance	1 071 030
Parks and recreation	
Ward Committee Projects: Parks	1 100 000
Sports Grounds	
Sports grounds: Blower Mower: sn 15678 (replace)	85 215
Sports grounds: Blower Mower: sn 12803 (replace)	85 215
Sports grounds: Blower Mower: sn 34299-13011 (replace)	85 215
Sports grounds: Water Canon: sn 17945(replace)	53 000
Roads and Stormwater	
Roads Swartland: Resealing of Roads (CRR + MIG)	20 500 000
Roads Swartland: Construction of New Roads (CRR + MIG)	39 027 405
Ward Committee Projects: Roads	1 100 000
Stormwater Network	550 000
Water Distribution	
Water networks: Upgrades and Replacement (CRR + WSIG)	10 700 000
Safeguarding Water Infrastructure	3 644 000
Water: Upgrading water reticulation network: PRV's, flow control, zone metering and water augmentation	800 000
Swartland System S12.2 CoCT WTP to Swartland WTP pipe connection	500 000
Bulk water emergency spending	700 000
Connections: Water Meters (New/Replacements)	1 035 092
Upgrading: Ongegund Water Supply System (Reservior and Pumpstation)	500 000
Riebeek Kasteel: New Reservior	500 000
Financial Services	
Meter reading Handhelds	80 000



Indigent Screening Solution	25 000
Protection Services	
New Firearms & Replacements	250 000
Fire Fighting: Hazmat Equipment	478 261
Developmental Services	
Darling Intercultural Space: Stage Roofstructure Design	78 261
Corporate Services	
Expropriation of splays	400 000
Equipment	
Equipment: Civil	58 000
Equipment: Sewerage Telemetry	220 000
Equipment: Sewerage	36 000
Equipment: Buildings & Maintenance	32 000
Equipment: Parks	152 000
Equipment: Streets and Stormwater	68 000
Equipment: Water	55 000
Equipment: Refuse bins, traps, skips	700 000
Equipment: Refuse Removal	30 000
Equipment: Development Services	50 000
Equipment: YZF Caravan Park	36 000
Equipment: Electric	400 000
Equipment: Information Technology	75 000
Equipment: Financial	63 000
Equipment: Protection	60 000
Equipment: Fire Fighting	300 000
Equipment: MM	12 000
Equipment: Council	12 000
Equipment: Corporate	30 000
Equipment Corporate: Buildings & Swartland Halls	100 000
Equipment: Libraries	43 478
Vehicles	
Roads Vehicles	113 894
Refuse Vehicles	4 600 880
Traffic and Law Enforcement Vehicle	712 020

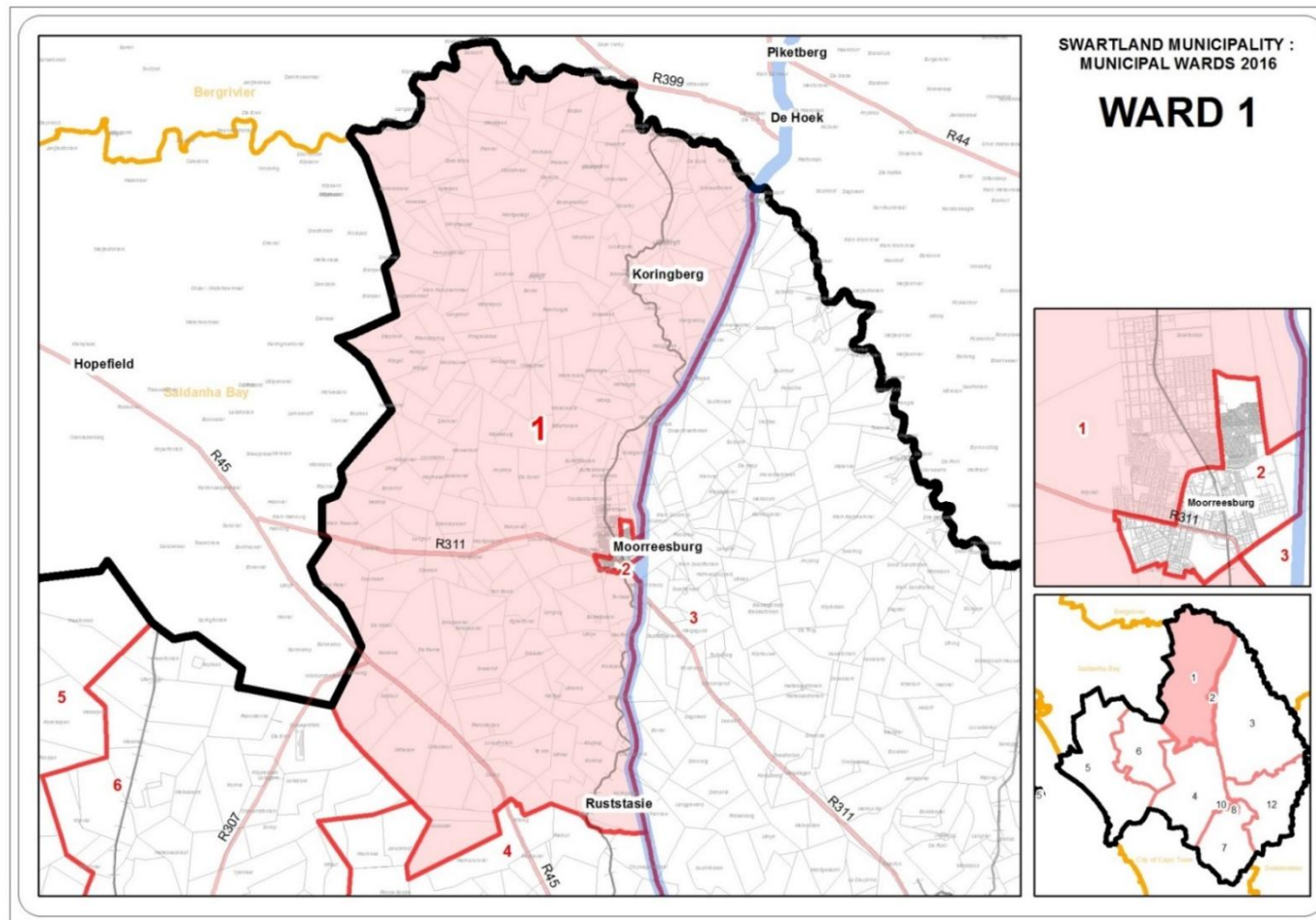


WARD DETAIL

(a) WARD 1 (Koringberg and part of Moorreesburg)

WARD 1 DESCRIPTION:

Northern and western parts of Moorreesburg, Koringberg as well as the rural area north of Moorreesburg.



WARD 1 COMMITTEE INFORMATION

Ward Councillor: Marlene Nel

Members of the ward committee

Member	Town	Contact Detail	Email
Nicaile Cupido	Moorreesburg	060 919 7162	nicailleconnleigh@gmail.com
William De Bruyn	Koringberg	083 947 9819	kim22db@gmail.com
Janine Talmakkies	Moorreesburg	083 788 8016	Talmakkiesjanine481@gmail.com
Henry April	Moorreesburg	083 234 4532	henryfapril@yahoo.com
Lodewyk Agullhas	Moorreesburg	071 132 2253	-
Cobus Van der Merwe	Moorreesburg	083 440 5172	cobus@wedoprop.co.za
Willem Arendse	Moorreesburg	079 536 3049	willem.2opsies@gmail.com
Peterus Adonis	Koringberg	082 3877 086	-
Tessa Mankay	Moorreesburg	072 437 6916	Tessamnk707@gmail.com

WARD 1 STATISTICS

PLEASE NOTE: At the time of finalising this area plan, the results of the 2022 Stats SA Census were not yet available at ward or sub-area level. Consequently, the statistical information presented below continues to reflect the 2016 Community Survey data. This information is supplemented by projections and planned interventions identified by the Swartland Municipality to inform future development priorities.

The statistics mentioned below is a holistic picture of Ward 1.

(i) Population per group

Town	Black African		Coloured		Indian or Asian		White		Other		Total	
	No	%	No	%	No	%	No	No	%	No	%	No
Moorreesburg	1 247	6.7	13 106	70.3	46	0.2	4 169	22.4	75	0.4	18 643	100.0
Koringberg	58	3.2	1 539	85.0	1	0.1	204	11.3	8	0.5	1 810	100.0



(ii) Age distribution per category

0-9 years		10 – 19 years		20-29 years		30-39 years		40-49 years		50-59 years		60-69 years		70-79 years		80+ years	
No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%
1 189	11.7	1 363	13.4	2 927	28.9	1 570	15.5	1 161	11.5	946	9.3	535	5.3	318	3.1	137	1.4

(iii) Average household size

Number of households	Average household size
2 005	5.0

(iv) Dwelling types

House or brick/concrete block structure on a separate stand or yard or on a farm	Traditional dwelling/hut/structure made of traditional materials	Flat or apartment in a block of flats	Cluster house in complex	Town-house (semi-detached house in a complex)	Semi-detached house	House/flat/ room in backyard	Informal dwelling (shack in back-yard)	Informal dwelling (shack not in backyard; e.g. in an informal/squatter settlement or on a farm)	Room/ flat let on a property or larger dwelling/servants quarters/granny flat	Caravan/tent	Other
1 760	10	37	9	9	100	37	11	1	12	7	15

(v) Official employment status

Employed		Unemployed		Discouraged work-seeker		Other not economically active		Age less than 15 years		N/A	
No	%	No	%	No	%	No	%	No	%	No	%
2 629	25.9	98	1.0	77	0.8	4 887	48.2	0	0.0	2 456	24.2



(vi) Individual monthly income

No Income	R1 – 12 800	R12 800 – R25 600	R25 601 – R51 200	R51 201 – R102 400	R102 401 – R204 800	R204 801+	Unspecified	Not Applicable
2 518	3 695	270	88	30	12	12	258	3 264

(vii) Household source of energy for lighting

Electricity	Gas	Paraffin	Candles (not a valid option)	Solar	None	Unspecified
98.2%	0.0%	0.0%	1.6%	0.0%	0.0%	0.0%

(viii) Household source of refuse disposal

Removed by local authority/private company at least once a week	Removed by local authority/private company less often	Communal refuse dump	Own refuse dump	No rubbish disposal	Other
74.1%	0.4%	5.4%	19.2%	0.5%	0.3%

(ix) Household source of water (Tap information)

Piped (tap) water inside dwelling	Piped (tap) water inside yard	Piped (tap) water on community stand : distance < 200m from dwelling	Piped (tap) water on community stand : between 200m & 500m from dwelling	Piped (tap) water on community stand : between 500m & 1000m from dwelling	Piped (tap) water on community stand : distance >1000m from dwelling	No access to piped (tap) water
91.5%	6.4%	1.2%	0.1%	0.1%	0.0%	0.7%



WARD 1 NEEDS

Most important needs prioritised

The following priorities were obtained from the Municipality's public participation process during September and October 2022 and were revised in October and November 2023 as well as in October and November 2024 at ward committee meetings. The ward committees used a prioritisation model (MS Excel) to determine the top ten priorities of the ward based on the scoring of each ward committee member. Using the same Excel model, the top ten priorities of all the wards were determined by totalling the individual ward scores. The top ten ward committee priorities are shown in the tables below.

Swartland Municipality functions

	Priority	Detail	Municipal service
1	Fire-fighting services	24-hour professional firefighting service in Moorreesburg	Firefighting and emergency services
2	Investment promotions	Attract investment to Moorreesburg to increase job opportunities	Local economic development
3	Cemeteries	Create area to the right of and next to current squatter camps for cemetery	Parks and recreation
4	Traffic and road safety challenges	Trucks drive through the town at night to avoid the weighbridge. Vehicles use main street as a racing track	Traffic and law enforcement
5	Pool safety and enclosure	Wall around the swimming pool needs to be completed	Parks and recreation
6	Online pre-paid electricity service	Ability to buy pre-paid electricity online	Electricity
7	Economic growth and development	Economic growth and development	Local economic development
8	Community safety	Safety at sport functions	Sports fields
9	New street lights	More streetlights required in Hooikraal	Street lights
10	Sport facility refurbishment	Upgrading of sport facilities	Sport fields



Western Cape Government functions

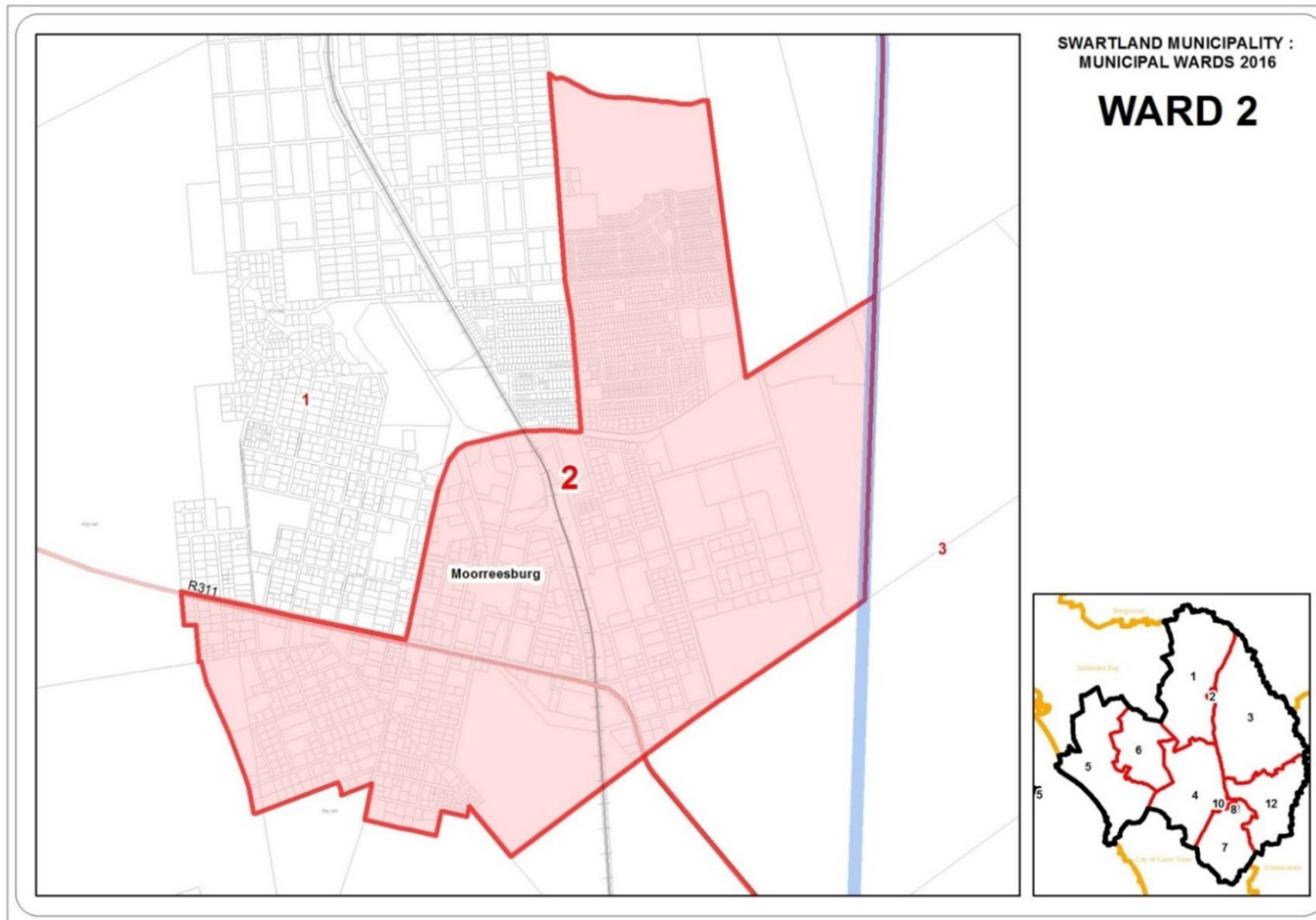
	Priority	Detail	Provincial Department
1	Community safety	Gang violence	Community Safety
2	Full-time emergency services	A 24-hour emergency service centre	Health
3	Expanding sustainable affordable housing	Build more RDP houses for people and prohibit people to rent out their houses	Housing
4	Public transport	Public transport from Moorreesburg to Cape Town	Transport
5	Law enforcement challenges	Hooikraal is currently a crime hotspot. Police have one vehicle for the whole of Moorreesburg, and they are understaffed. The landlines at the police station do not work during load shedding	Community Safety / SAPS
6	Health care staffing challenges	Appoint more staff at the clinics	Health
7	Shelter for vulnerable individuals	A night shelter to cater for the growing homelessness problem	Social development
8	Skills development	A skills development centre	Education
9	Investment promotions	Assist with the promotion / marketing of the town	Economic Development and Tourism
10	Health care facilities	A public hospital	Health



(b) WARD 2 (Moorreesburg East)

WARD 2 DESCRIPTION:

Southern and eastern parts of Moorreesburg.



WARD 2 COMMITTEE INFORMATION

Ward Councillor: Desmond Pypers

Members of the ward committee

Member	Town	Contact Details	Email
Karin Esterhuizen	Moorreesburg	062 987 8545	jansevanrensburga76@gmail.com
Mari-Helmine Van Aarde	Moorreesburg	073 984 0086	-
Gideon Agulhas	Moorreesburg	083 8736 959	gideonagulhas@gmail.com
Alida Van Boven	Moorreesburg	071 811 7672	-
Hester Cloete	Moorreesburg	063 426 4392	hessie.casie@gmail.com
Dorothea Boltney	Moorreesburg	078 494 9355	-
Christopher Lesch	Moorreesburg	063 096 4574	leschchristopher@gmail.com
Rachel Janse	Moorreesburg	063 053 3421	-
Sidney Van Rooyen	Moorreesburg	060 466 0598	sidneymentoor@gmail.com

WARD 2 STATISTICS

PLEASE NOTE: At the time of finalising this area plan, the results of the 2022 Stats SA Census were not yet available at ward or sub-area level. Consequently, the statistical information presented below continues to reflect the 2016 Community Survey data. This information is supplemented by projections and planned interventions identified by the Swartland Municipality to inform future development priorities.

The statistics mentioned below is a holistic picture of Ward 2.

(i) Population per group

Black African		Coloured		Indian or Asian		White		Other		Total	
No	%	No	%	No	%	No	%	No	%	No	%
1 247	6.7%	13 106	70.3%	46	0.2%	4 169	22.4%	75	0.4%	18 643	100.0%



(ii) Age distribution per category

0-9 years		10 – 19 years		20-29 years		30-39 years		40-49 years		50-59 years		60-69 years		70-79 years		80+ years	
No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%	No	%
2 422	18.7%	2 075	16.0%	2 382	18.4%	1 791	13.8%	1 798	13.9%	1 185	9.2%	783	6.0%	387	3.0%	127	1.0%

(iii) Average household size

Number of households	Average household size
3 627	3.5

(iv) Dwelling types

House or brick/concrete block structure on a separate stand or yard or on a farm	Traditional dwelling/hut/structure made of traditional materials	Flat or apartment in a block of flats	Cluster house in complex	Town-house (semi-detached house in a complex)	Semi-detached house	House/flat/ room in backyard	Informal dwelling (shack in back-yard)	Informal dwelling (shack not in backyard e.g. in an informal/squatter settlement or on a farm)	Room/ flat let on a property or larger dwelling/servants quarters/granny flat	Caravan/tent	Other
3 087	0	181	0	0	37	71	34	172	24	8	10

(v) Official employment status

Employed		Unemployed		Discouraged work-seeker		Other not economically active		Age less than 15 years		N/A	
No	%	No	%	No	%	No	%	No	%	No	%
3 984	30.8%	846	6.5%	254	2.0%	3 586	27.7%	0	0.0%	4 275	33.0%



(vi) Individual monthly income

No Income	R1 – 12 800	R12 800 – R25 600	R25 601 – R51 200	R51 201 – R102 400	R102 401 – R204 800	R204 801+	Unspecified	Not Applicable
5 370	6 747	258	48	11	6	1	305	199

(vii) Households' source of energy for lighting

Electricity	Gas	Paraffin	Candles (not a valid option)	Solar	None	Unspecified
98.6%	0.0%	0.2%	0.9%	0.0%	0.2%	0.0%

(viii) Household source of refuse disposal

Removed by local authority/private company at least once a week	Removed by local authority/private company less often	Communal refuse dump	Own refuse dump	No rubbish disposal	Other
98.9%	0.6%	0.1%	0.4%	0.0%	0.0%

(ix) Household source of water (Tap information)

Piped (tap) water inside dwelling	Piped (tap) water inside yard	Piped (tap) water on community stand : distance < 200m from dwelling	Piped (tap) water on community stand : between 200m & 500m from dwelling	Piped (tap) water on community stand : between 500m & 1000m from dwelling	Piped (tap) water on community stand : distance >1000m from dwelling	No access to piped (tap) water
91.9%	7.2%	0.6%	0.0%	0.0%	0.0%	0.2%



WARD 2 NEEDS

Most important needs prioritised

The following priorities were obtained from the Municipality's public participation process during September and October 2022 and were revised in October and November 2023 as well as in October and November 2024 at ward committee meetings. The ward committees used a prioritisation model (MS Excel) to determine the top ten priorities of the ward based on the scoring of each ward committee member. Using the same Excel model, the top ten priorities of all the wards were determined by totalling the individual ward scores. The top ten ward committee priorities are shown in the tables below.

Swartland Municipality functions

	Priority	Detail	Municipal service
1	Cemetries	Upgrading of Rosenhof cemetery fence	Parks and recreation
2	Economic growth and development	Small shopping mall	Local economic development
3	Reliable backup power	Electricity backup during loadshedding. Investigate solar plants	Electricity
4	Recreational facilities	Recreational facilities in Moorreesburg	Social development
5	Full-time firefighting services	24-hour professional firefighting service in Moorreesburg	Firefighting and emergency services
6	Transforming public spaces	Upgrading of public toilets and littering	Parks and recreation
7	Shelters for vulnerable individuals	A safe shelter	Social development
8	Clean public spaces	Littering in town, cleaning / repair of streets and pavements	Refuse removal
9	Empowering businesses	Rosenhof - Several underdeveloped businesses, high unemployment levels among youth and adults	Local economic development
10	Affordable municipal services	High water tariffs	Water



Western Cape Government functions

	Priority	Detail	Municipal service
1	Emergency services	A 24 hour emergency service centre	Health
2	Sustainable affordable housing	Housing for backyard dwellers	Housing
3	Promoting education retention	Take action to address the issue of school dropouts	Education
4	Skills development	Skills development centre	Education
5	Community safety staffing challenges	Lack of policing	Community Safety
6	Health care services staffing challenges	Appoint more staff at the clinics	Health
7	Health care transportation to outside areas	Lack of transportation for individuals requiring healthcare access in Cape Town without means to travel from Moorreesburg	Health
8	Health care access through transportation	Transport to clinics for elderly and disabled people	Health
9	Dual medium instruction at primary school	Primary school to offer instruction in both English and Afrikaans	Education
10	Public hospital	Need a Public hospital in Moorreesburg as the nearest hospital is Malmesbury	Health



ANNEXURE 1: SPATIAL DEVELOPMENT FRAMEWORK PROPOSALS

The Swartland Spatial Development Framework outlines the guiding principles required to achieve the intended spatial form and offers a project timetable for implementing the SDF's suggestions into reality.

The goal of the Swartland Spatial Development Framework (SDF) is to sustainably direct growth and development in the municipal region of Swartland. Hence, future growth, development, and land use planning will adopt the spatial vision and principles to safeguard and build integrated, sustainable settlements and liveable environments as well as to promote economic and social prosperity.

Moorreesburg is centrally located in the northern part of the Swartland and is an important agricultural service centre to the extensive surrounding agricultural production area. Settled amongst rolling hills in an extensive agriculturally productive area, Koringberg is the most northerly-located urban settlement in the Swartland.



KEY

- URBAN CORE
- URBAN EDGE
- APPROXIMATE DEVELOPMENT
- RESIDENTIAL
- SMALL SCALE AGRICULTURE
- TRANSITIONAL ZONE (IN TRANSITION)
- COMMERCIAL
- CENTRAL BUSINESS DISTRICT
- SECONDARY BUSINESS NODE
- AGRICULTURE
- COMMUNITY NODE
- INSTITUTIONAL FACILITY
- RECREATION
- SERVICE ROAD
- CONCRETE
- ACQUANT
- DEVELOPMENT NODE

PROJECT
SWARTLAND
SPATIAL DEVELOPMENT FRAMEWORK
CLIENT
SWARTLAND MUNICIPALITY

MOORREESBURG
SPATIAL DEVELOPMENT
LAND USE PROPOSALS

PREPARED BY
CK RUMBOLD & PARTNERS
TOWN & REGIONAL PLANNERS
16 RAINIER STREET, MALMESBURY

AREA
SWARTLAND

DATE
MAY 2023

Koringberg

